

THE BOROUGH OF HEIDELBERG

1631 EAST RAILROAD STREET • HEIDELBERG, PA 15106

PHONE: 412-276-0363 • FAX: 412-446-2783

OCCUPANCY PERMIT APPLICATION

SUBMITTAL REQUIREMENTS:

1. **CURRENT OWNER(S): (or the agent for the current owner(s))** are responsible for completing the application for Occupancy Permit.
2. Application **MUST** be filed (not necessarily issued) with the Borough **BEFORE** the closing can take place.
3. An Occupancy Inspection **MUST** be completed **BEFORE** closing and before the structure can be occupied.
4. The Fee for the Occupancy Permit Application will be set by the Borough Fee Scheduled currently adopted by Borough Council.
5. Occupancy Permit will be issued in the name of the new owner(s) to be occupying the house / structure.

ADDRESS OF PROPERTY TO BE INSPECTED:

NAME, ADDRESS, TELEPHONE NUMBER OF CURRENT OWNER(S):

NAME, ADDRESS, TELEPHONE NUMBER OF BUYER(S):

PRINT NAME & TELEPHONE NUMBER OF AGENT / CONTACT TO MEET INSPECTOR:

CURRENT OWNER/ AGENT:

Signature _____

Date _____

For Borough Use: Received: _____

Amount Paid: _____

The following is a checklist for the owner or occupant of the structure prior to the inspection.

✓ checklist

Exterior of the Structure

Sanitation 302.1	<i>All exterior premises shall be maintained in a clean, safe & sanitary condition</i>
Weeds 302.4	<i>All premises shall be maintained from weeds or plants in excess of 10-inches</i>
Sidewalks 302.3	<i>Sidewalks shall be kept in proper state of repair & free of hazardous conditions</i>
House Numbers 304.3	<i>Buildings shall have visible from the street address numbers 4" high 1" font.</i>
Exterior Finish 304.2	<i>All doors, windows, façade, brick joints, etc. shall have protective coverings and paint in good condition without corrosion and peeling paint.</i>
Roof & Drainage 304.7	<i>Drainage of roofs, paved areas and yards shall discharge away from the building and not creating a nuisance. The roof and drainage system shall not have any defects or obstructions.</i>
Overhang Extensions 304.9	<i>Overhangs, awnings, canopies, signs, fire escapes etc. shall be in sound condition</i>
Chimneys & Towers 304.11	<i>All chimneys shall be in sound condition including bricks and mortar</i>
Foundation Walls 304.5	<i>All foundation walls shall be plumb and free from open cracks and breaks</i>
Structural Members 304.4	<i>All structural members shall be free from deterioration and shall be capable of supporting the loads imposed</i>
Handrails 304.12	<i>Handrails and guards shall be firmly fastened and capable of supporting the required loads. Every interior and exterior flight of stairs having more than 4-risers shall be provided with at least 1-handrail 30"-42" high above the tread nose. See Details</i>
Guard rails 304.12	<i>Guards shall be in sound condition capable of supporting the required loads. Guards shall be provided for all walking surfaces more than 30-inches high. Existing Guards shall not be less than 30-inches high. New guards shall not be less than 36-inches high with openings less than 4-inches wide. See Details.</i>
Stairways & Porches 304.10	<i>Every exterior stairway, deck, porch and balcony shall be maintained structurally sound and in good repair.</i>
Garbage Containers 307.3	<i>Every occupant of a structure shall dispose of garbage in an approved manner by placing such garbage in an approved garbage container.</i>
Accessory Structures 302.7	<i>All accessory structures including garages, fences, walls etc. shall be maintained in structurally sound and good repair</i>
Swimming Pools 303.2	<i>Swimming pools/hot tubs shall be maintained in sound condition. Pools and hot tubs shall be completely surrounded by a fence or barrier at least 48-inches in height above grade. Gates and doors shall be self-closing and self-latching. Latches shall be a minimum of 54-inches above the ground.</i>
Infestation 308.1	<i>All structures and exterior shall be kept free from rodent and insect infestation</i>
Motor Vehicles 302.8	<i>No inoperative or unlicensed/inspected vehicle shall be parked, stored or kept on the premises</i>

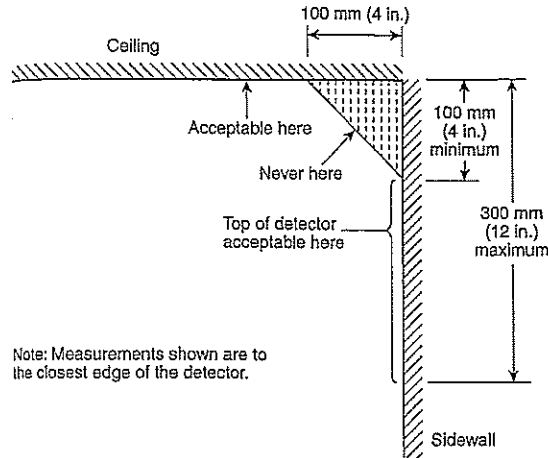
Interior of the Structure

	Structural Members 305.2	All interior structural members shall be maintained structurally sound, and capable of supporting the loads imposed
	Stair Conditions 305.4	Every stair, ramp, landing, porch deck or walking surface shall be maintained in good sound repair
	Handrails & Guards 306.1	See exterior handrail and guard requirements
	Min. Room Areas 404.4	Bedrooms: 70sq.ft. Living areas: 120 sq.ft.
	Exits/Lock 702.3	All means of egress doors shall be readily openable from the egress side without the use of keys, special knowledge or effort
	Emergency Escape 702.4	Required emergency escape windows and opening required at approval of the occupancy, shall be operable from the inside of the room with keys, tools, bars, grills, obstructions etc.
	Smoke Detectors 704.2	Smoke alarms shall be provided: outside each bedroom, in each bedroom and on each floor.
	Bathroom Ventilation 403.2	Every bathroom and toilet room shall be provided with natural or mechanical ventilation
	Bathrooms 502.1	Every dwelling unit shall be provided with its own bathroom. The bathroom shall be maintained in a sanitary and safe working condition
	Food Preparation 502.1	Every dwelling unit shall be provided with kitchen facilities and sink. The kitchen shall be maintained in a sanitary and safe working condition
	Plumbing Fixtures 504.1	All plumbing fixtures shall be properly installed and maintained in good working order
	Sanitary Drainage 506.1	All plumbing fixtures shall be properly connected to either a public or private sewer system in good working order. Storm Water is not to be drained into Sanitary System (Ordinance No. 550)
	Electrical Service 604.3	Electrical services, meters and panels shall be in good working condition. Frayed, missing or deteriorated wiring shall be replaced. All unused wires shall be removed. All wire connections shall be in approved junction boxes. Bonding Shall be provided where necessary.
	Receptacles/GFCI 604.3	Every habitable space shall have at least 2-receptacles. All receptacles in bathrooms, kitchen counters, near sinks, inside the garage and outdoors shall be GFCI-Ground Fault protected. All receptacles shall be wired properly.
	Electrical Hazards 604.3	Where it is found that the electrical system in a structure constitutes a hazard to the occupants by reason of inadequate service, improper fusing, improper wiring, deterioration or damage, the code official shall require correction.
	Heat Supply 602.2, 603.5	Dwellings shall be provided with heating facilities capable of maintaining a room temperature of 68-degrees. All heating equipment shall be in good working order, vented properly and provided with adequate combustion air.

Hot Water/Tank 505.4	Water heating facilities shall be provided and maintained to provide tempered 110-degree water for bathing and cooking. Relief Discharge Valve shall not be reduced in size and shall terminate within two (2) inches from the floor. Hot Water Heater is also to be properly-vented.
Disclaimer:	The inspector will also check for visible safety hazards and violations

INSTALLATION DETAILS

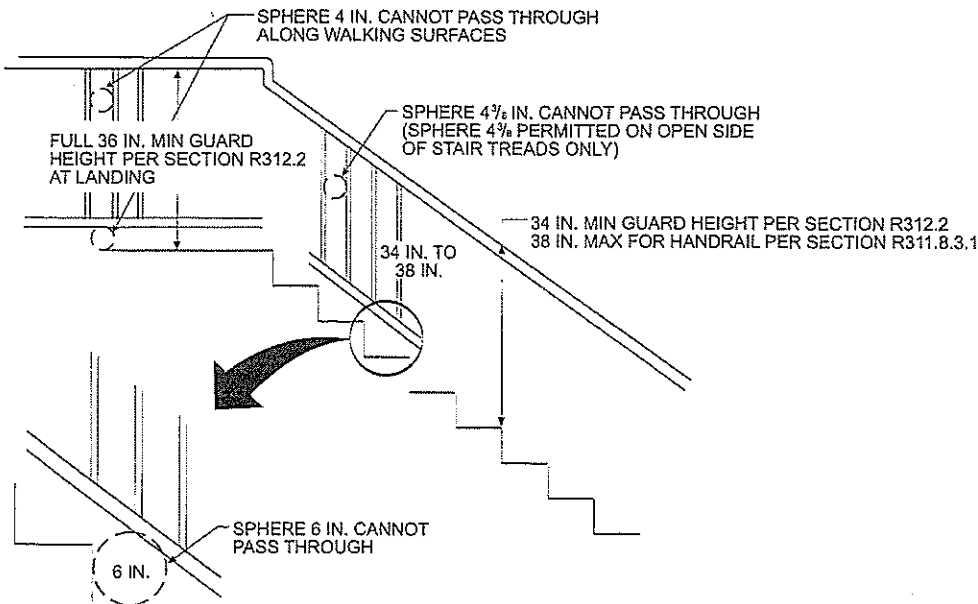
SMOKE ALARM INSTALLATION DETAIL



STAIR, GUARD AND HANDRAIL DETAIL

NOTE: DETAIL BELOW IS FOR NEW HANDRAIL AND GUARDS. MEASUREMENTS OF 30" TO 42" ARE FOR EXISTING HANDRAILS – 30" FOR EXISTING GUARDS. IF NEW INSTALLATION OF HANDRAILS ARE NEEDED, THE INFORMATION IN THE BELOW DETAIL IS TO THE CURRENT CODE APPLICABLE.

GUARDS FOR SURFACES ABOVE 30-INCHES OFF GROUND:



HANDRAIL PERIMETER > 6 1/4 IN.

